



DESIGN COMMISSION
MONDAY, SEPTEMBER 22, 2014 6:00 PM
AUSTIN CITY HALL, BOARDS AND COMMISSIONS ROOM 1101
301 W. SECOND STREET, AUSTIN, TEXAS 78701

Current Commission Members

- | | |
|----------------------------------------|--------------------------------------------------------|
| _____ Dean Almy (DA) – Chair | _____ Juan E. Cotera (JC) |
| _____ Evan Taniguchi (ET) – Vice Chair | _____ James Shieh (JS) |
| _____ Hope Hasbrouck (HH) – Secretary | _____ Jeannie Wiginton (JW) |
| | _____ Bart Whatley (BW) |
| | _____ Jorge E. Rousselin (COA – PDRD)
Staff Liaison |

AGENDA

Please note: Posted times are for time-keeping purposes only. The Commission may take any item(s) out of order and no express guarantee is given that any item(s) will be taken in order or at the time posted.

	Approx. time
CALL TO ORDER AND ROLL CALL	6:00 PM
1. CITIZEN COMMUNICATION: GENERAL The first five speakers signed up prior to the meeting being called to order will each be allowed a three-minute allotment to address their concerns regarding items not posted on the agenda.	6:00 PM
2. APPROVAL OF MINUTES (Discussion and Possible Action) a. Discussion and possible action on the August 25, 2014 Design Commission meeting minutes. (Jorge Rousselin , COA-PDRD)	6:15 PM
3. NEW BUSINESS (Discussion and Possible Action): a. Discussion and possible action on the Code Approach Alternatives & Annotated Outlines for CodeNEXT. (George Zapalac , COA-PDRD).	6:20 PM
4. OLD BUSINESS (Discussion and Possible Action) a. Discussion and possible action on a recommendation to the City Council on the draft Pease Park Master Plan. (Kim McKnight , COA- PARD); b. Discussion and possible action on a recommendation for the proposed Seton Medical Center at The University of Texas at Austin (SMCUT)-Aerial Walkway located at 1500 Red River Street. (Lynn Ann Carley , Armbrust & Brown, PLLC). c. Discussion and possible action on Design Guidelines for infrastructure projects as directed by City Council Resolution No. 20120816-060 .	6:50 PM
5. COMMITTEE AND LIAISON REPORTS (Discussion and Possible Action) a. Standing Committees Reports; b. Working Group Reports; c. Liaison Reports; d. Appointment of Committee/Working Group members by Chair.	8:00 PM

6. STAFF BRIEFINGS: None	8:15 PM
7. FUTURE AGENDA ITEMS a. Urban Rail Update	8:15 PM
8. ANNOUNCEMENTS b. Chair Announcements; c. Items from Commission Members; and d. Items from City Staff.	8:20 PM
ADJOURNMENT	8:30 PM

The City of Austin is committed to compliance with the American with Disabilities Act. Reasonable modifications and equal access to communications will be provided upon request. Meeting locations are planned with wheelchair access. If requiring Sign Language Interpreters or alternative formats, please give notice at least 3 days before the meeting date. Please contact Jorge Rousselin in the Planning and Development Review Department, at jorge.rousselin@austintexas.gov or (512) 974-2975, for additional information. TTY users route through Relay Texas at 711.

Design Commission Committees, Working Groups, and Liaisons

Committees

1. Bylaws/Policies & Procedures Committee: Wiginton (Chair), Cotera, Whatley
2. Executive Committee: Almy (Chair), Taniguchi, Hasbrouck

Working Groups

1. Planning and Urban Design Working Group: Whatley (Chair), Cotera, Shieh
2. Architecture and Development Working Group: Almy (Chair), Taniguchi, Cotera
3. Landscape and Infrastructure Working Group: Hasbrouck (Chair), Wiginton, Almy
4. Public Engagement Working Group: Wiginton (Chair), Taniguchi, Hasbrouck

Design Commission Liaisons

1. Downtown Comm. Liaison / Downtown Austin Plan: Whatley
2. Airport Boulevard Redevelopment Initiative: Whatley

Design Commission Staff Liaison:

Jorge E. Rousselin, Development Services Process Coordinator
Urban Design, Planning and Development Review Department
City of Austin, One Texas Center, 505 Barton Springs Rd., Austin, TX 78704
Phone: (512) 974-2975 ■ E-mail: jorge.rousselin@austintexas.gov

Resources:

1. The Urban Design Guidelines for Austin can be accessed here:
[Urban Design Guidelines for Austin.](#)
2. Design Commission backup may be accessed here: [Design Commission Backup.](#)



**DESIGN COMMISSION
MONDAY, AUGUST 25, 2014 6:00 PM
AUSTIN CITY HALL, BOARDS AND COMMISSIONS ROOM 1101
301 W. SECOND STREET, AUSTIN, TEXAS 78701**

Meeting Minutes

Call to order by: E. Taniguchi at 6:00 PM.

Roll Call: D. Almy not present (Excused absence).

1. CITIZEN COMMUNICATION: None

2. APPROVAL OF MINUTES (Discussion and Possible Action)

- a. Discussion and possible action on the July 28, 2014 Design Commission meeting minutes.

The motion to approve the minutes as corrected on the Dias made by H. Hasbrouck; Second by J. Cotera was approved on a vote of [5-0; D. Almy not present; J. Wiginton not arrived yet].

[J. Wiginton arrived at 6:10 PM]

3. NEW BUSINESS (Discussion and Possible Action)

- a. Discussion and possible action on a recommendation to the City Council on the draft Pease Park Master Plan. (Kim McKnight, COA- PARD).

Ms. Kim McKnight of the Parks and Recreation Department presented the Pease Park Master Plan.

Speakers in favor of the Plan:

1. Mr. Richard Craig spoke in favor of the Plan;
2. Mr. Mitchel McGovern spoke in favor of the Plan;
3. Mr. Dan Vantreeck spoke in favor of preserving the park and in favor of the Plan;
4. Mr. Bill Head spoke in favor of the Plan; and
5. Ms. Zoila Vega spoke in favor of the Plan.

Speakers in opposition to the Plan:

1. Mr. Chris Rodensey spoke in opposition as a result of the exclusion of disk golf activities in the Plan;

2. Mr. Gordon Kelley spoke in opposition as a result of the exclusion of disk golf activities in the Plan;
3. Mr. Payton H. Aldridge spoke in opposition as a result of the exclusion of disk golf activities in the Plan; and
4. A letter from Mr. Jim Christianson in opposition as a result of the exclusion of disk golf activities in the Plan was read into the record.

Stakeholders in support of the Plan that did not speak:

1. Anne Wood;
2. Andy Liebler;
3. Monnie Anderson;
4. Patricia Winston;
5. Marianne Dorman; and
6. Steve Davis.

Stakeholders in support of the Plan that did not speak:

1. Dr. Steve Loeschen; and
2. J. Baumann.

The motion to support project direction as presented and encourage PARD to continue to work with stakeholders to find an alternative solution to hold disk golf activities in other locations and to send this item to the Landscape and Infrastructure working group to draft a letter to be presented at the next meeting made by J. Shieh; Second by H. Hasbrouck was approved on a vote of [6-0; D. Almy not present].

- b. Discussion and possible action on a presentation by The American Society of Landscape Architects, Austin Section, regarding their CodeNEXT issue paper seeking support for their position. (Chris Jackson, ASLA).

Chair Taniguchi recused himself from discussion and vote and vacated the Dias as he serves on the CodeNEXT Consultant Team as a sub-consultant to Opticos Design, Inc. Secretary Hasbrouck assumed Chair position for this item.

Mr. Chris Jackson presented the ASLA position paper on CodeNEXT.

The motion to send this item to the Landscape and Infrastructure working group and work with the ASLA to draft a letter to be presented at the next meeting made by H. Hasbrouck; Second by J. Wiginton was approved on a vote of [5-0; D. Almy not present; E. Taniguchi off Dias].

- c. Discussion and possible action on the GWTP Block 23 design development submittal located at 500 West 2nd Street seeking support for the project. (Adam Nims, Trammell Crow Company and Todd Runkle, Gensler Architects).

Mr. Adam Nims from the Trammell Crow Company introduced Mr. Todd Runkle from Gensler with Mr. Mark Flory which provided details on the Green Water Treatment Plan Block 23 design.

The Design Commission took no action on this item.

Chair Taniguchi returned to the Dias at the conclusion of this item.

- d. Discussion and possible action on a proposed alley vacation (F#9268-310) at 702 East 3rd Street between 3rd and 4th Streets seeking support for the alley vacation. (Michele R. Lynch, Metcalfe Wolff Stuart & Williams, LLP).

Ms. Michele R. Lynch presented the alley vacation request.

The motion to support the alley request as presented and consider the following:

1. Waller Creek Design Guidelines;
2. Creek Corridor Framework Plan; and
3. Operations and Maintenance Plan

made by J. Shieh; Second by J. Cotera was approved on a vote of [6-0; D. Almy not present].

- e. Discussion and possible action on the proposed Seton Medical Center at The University of Texas at Austin (SMCUT)-Aerial Walkway located at 1500 Red River Street seeking support for the aerial walkway. (David Armbrust, Armbrust & Brown, PLLC).

Commissioner Shieh recused himself from discussion and vote and vacated the Dias as his wife is a physician at Seaton.

Mr. Peter Reek presented the aerial walkway proposal over 15th Street.

Commissioner Cotera expressed concerns with sky-bridges as detailed in the UD Guidelines.

Mr. Todd Runkle spoke in favor of the project.

The motion to send this item to the Architecture and Development working group to draft a letter to be presented at the next meeting made by H. Hasbrouck; Second by E. Taniguchi was approved on a vote of [5-0; D. Almy not present; J. Shieh off Dias].

4. OLD BUSINESS (Discussion and Possible Action)

- a. Discussion and possible action on Design Guidelines for infrastructure projects as directed by City Council Resolution No.: 20120816-060.

The Design Commission took no action on this item.

5. COMMITTEE AND WORKING GROUP REPORTS (Discussion and Possible Action)

- a. Standing Committees Reports: **None**
- b. Working Group Reports: **None**
- c. Liaison Reports: **None**
- d. Appointment of Committee/Working Group members by Chair: **None**

6. STAFF BRIEFINGS: **None**

7. FUTURE AGENDA ITEMS:

- a. Urban Rail Update
- b. CodeNEXT Update

8. ANNOUNCEMENTS

- a. Chair Announcements: **None**
- b. Items from Commission Members: **None**
- c. Items from City Staff: **None**

ADJOURNMENT by consensus at: 9:18 PM



From Here to There: Setting a Path for Austin's Code

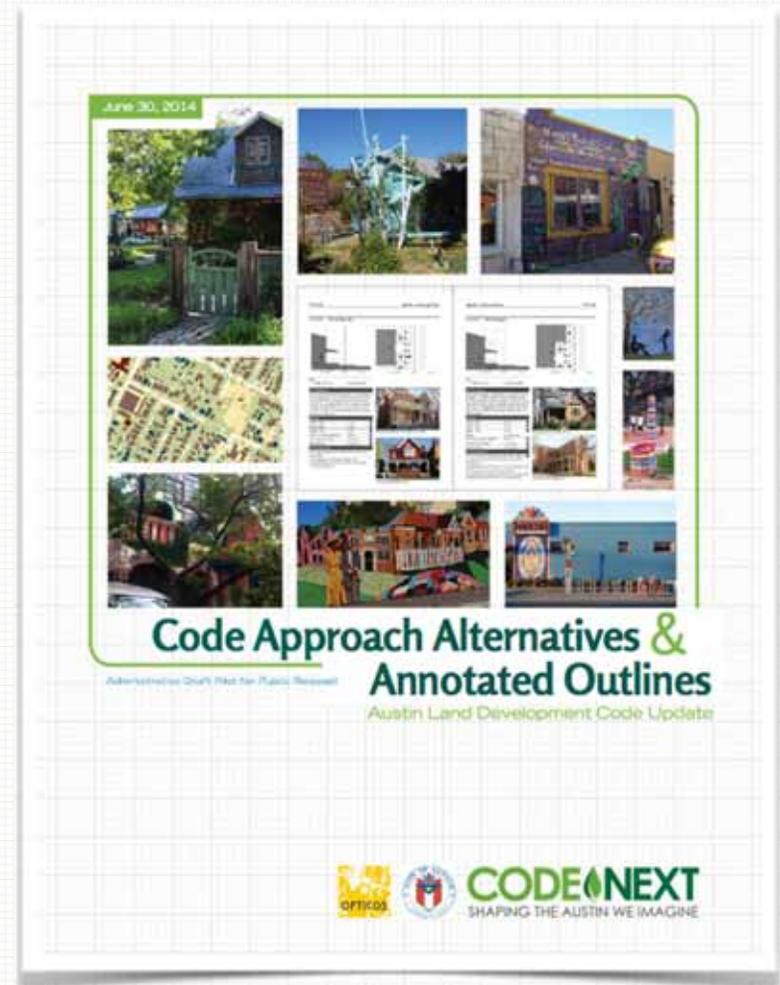
Code Approach Alternatives &
Annotated Outlines Document

Public Review Draft

Presented by:

Planning and Development Review Dept.

Fall 2014



What choosing an approach does and does not do:

Selecting an approach...

Does

- ✓ **Set a framework**
Creates parameters to guide the revision of the LDC.
- ✓ **Allow for future flexibility**
Future City Council will have opportunity to reaffirm selected Approach.
- ✓ **Establish a road map for updating the code**
Chooses a direction for the CodeNEXT team to explore with Austinites.

Does Not

- ✗ **Change existing regulations or policies such as neighborhood plans**
Does not say which regulations will be kept, replaced, or removed.
- ✗ **Revise zoning districts, neighborhood plans or create new districts**
No recommendation of districts.
- ✗ **Decide where new or revised zoning districts will apply within the City**
Code Approach does not provide direction for mapping.

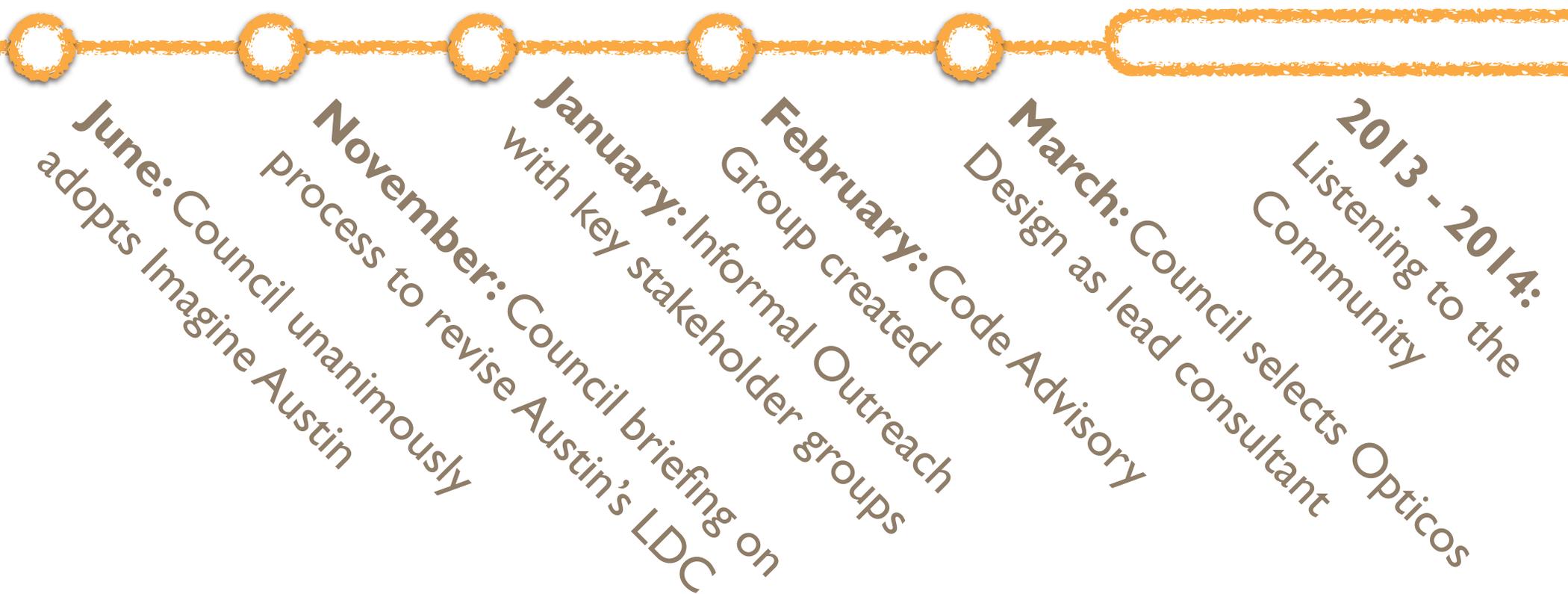
Overview of the Project

Chronology of Events

2012

2013

2014



Overview of the Project

Chronology of Events

2014

April: Listening to the Community Report

May: Code Diagnosis. Council work session on Code Diagnosis.

June: Code Diagnosis Report; Community Character Manual; Council work session on Code Compatibility

September: Approach Alternatives Report

October: Council selects Approach Alternative

Overview of the Project

Chronology of Events

2015

2016



March/April: Council
Confirmation of Approach

2015-Mid 2016:
Drafting process with
feedback to revise LDC;
CodeTALKS on Issues;
Review of Draft Standards.

Overview of the Project

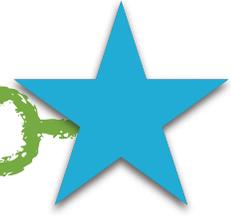
Chronology of Events

2016



Summer/Fall: Code adoption
process begins

2017



Late 2016 - 2017:
Mapping of new code

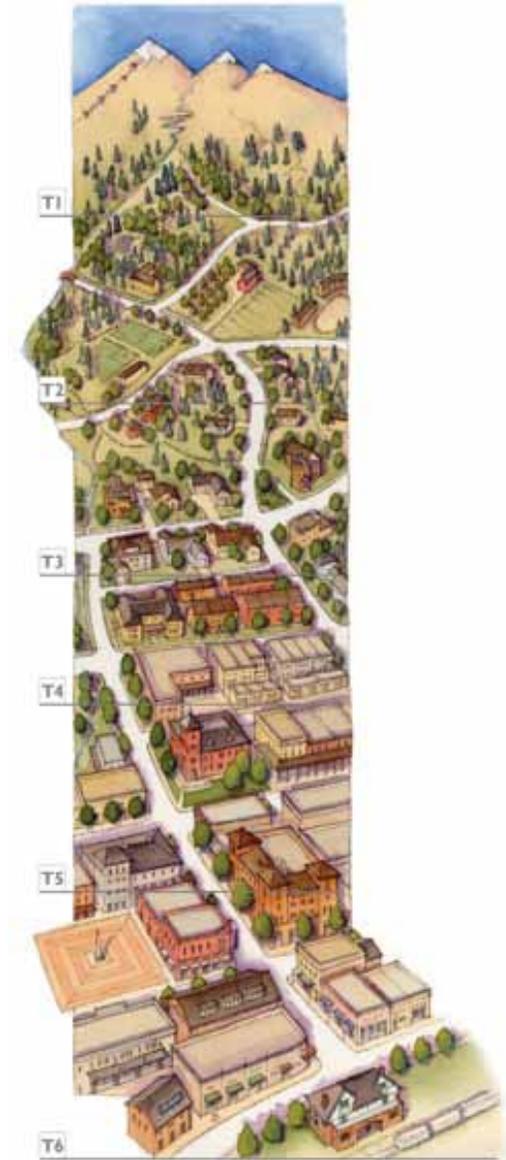
Code Standards
in Effect

Current State of the Code and Where Austinites Want to Be

Existing Code	Future Code
Ineffective in Implementing Imagine Austin	Supports Creation of Complete Communities and Implementation of Priority Programs
Complicated and Inefficient	Streamlined and Understandable
Unpredictable, Unclear, and Conflicting	Predictable Outcomes
Difficult to Implement and Administer	Transparent, Consistent Processes
Based on Community Values	Based on Community Values

The Three Approach Alternatives Explored

1. Brisk Sweep
2. Deep Clean
3. Complete Makeover



Approach Alternative I

The Brisk Sweep:

- **No major structural/organizational changes** to the Code.
- **Clean-up** of the existing LDC.
- **Targeted refinements.**
- **Addition of a Form-Based Code** that will have **limited application.**
 - Primarily to future small area plans.

Approach Alternative 2 [Recommended Approach]

The Deep Clean:

- **Significantly reworks content and structure.**
- **Substantially improves** the appearance, usability, and consistency of the existing LDC .
- Citywide framework for form-based standards will be created and applied to a **limited number of interested communities**. But Allow for easy future applications.
- Hybrid nature allows for **balanced mix** of by-right review, customized zoning, and discretionary review where appropriate.
- Combining districts compressed where feasible.

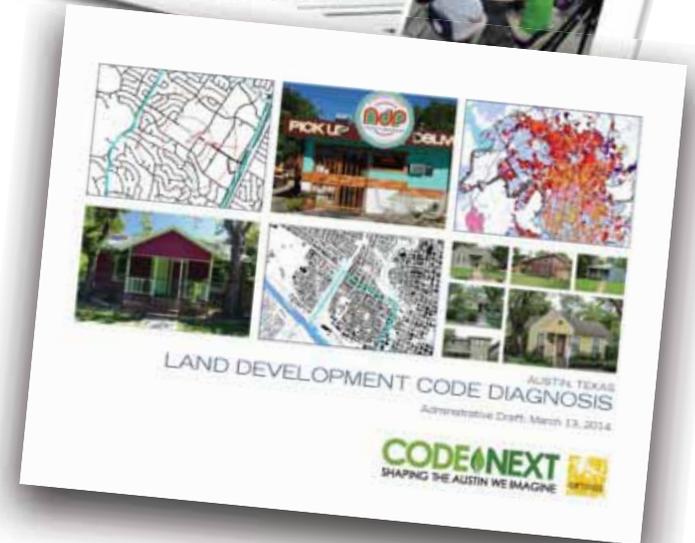
Approach Alternative 3

The Complete Makeover:

- **Most extensive modifications** to the existing LDC.
- **Significantly reworks content and structure.**
- Development standards include **significant form-based standards. Applied widely** across the city.
- Development **review process relies primarily on by-right review.**
- Combining districts are compressed where feasible

Criteria to Evaluate Elements of Code Approaches

1. Effectiveness
2. Clarity
3. Consistency
4. Predictability
5. Simplicity
6. Ease of Implementation
7. Ease of Administration



Code Format and Organization: Code Format

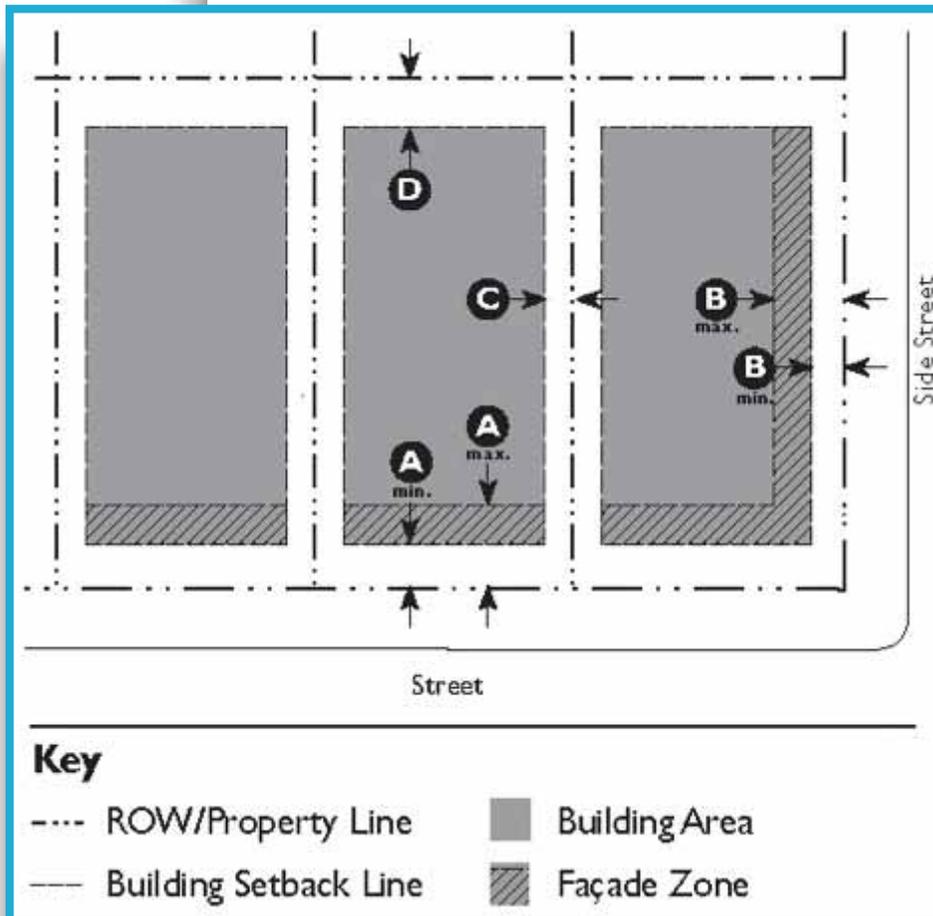
- Format refers to the way information is laid out on a page;

size and style of text, indenting, clear graphics, tables, and paragraph structure help to make information easy to find and understand.

The image shows a page from a code book titled '1703-3.120 Stacked Flats'. The page is divided into several sections. On the left, there is a 'Section 1703-2' header and a list of subsections (1703-2.10 to 1703-2.120) with their respective purposes. The main body of the page contains two diagrams of building footprints, one labeled 'Alley' and one labeled 'Front Street'. Below the diagrams are two tables: 'B. Number of Units' and 'D. Allowed Frontage Types'. The 'B. Number of Units' table lists 'Units per Building' (12 min.), 'Stacked Flat Building per Lot' (1 max.), and 'Height' (2 stories min.). The 'D. Allowed Frontage Types' table lists 'Porch: Projecting' (1703-4.50), 'Stoop' (1703-4.70), and 'Forecourt' (1703-4.80). Below these tables are several paragraphs of text, including 'E. Pedestrian Access' and 'F. Private Open Space'. The page footer includes 'City of Cincinnati Form-Based Code', 'Final Draft 2/15/13', and '3-23'. Callouts A-E point to various formatting elements: A points to a clear break between major portions of code; B points to a table of contents in each new section; C points to clear indenting, section breaks, and labeling; D points to strong headers and footers explaining where you are in the document; E points to clear graphics and illustrations visually explaining regulations.

- A Clear break between major portions of code.
- B Table of Contents in each new section.
- C Clear indenting, section breaks, and labeling.
- D Strong headers and footers explain where you are in the document.
- E Clear graphics and illustrations visually explain regulations.

Example of “Best Practices” for Usability and Clarity in Codes



Tables and diagrams make information easy to find and simple to understand.

C. Building Placement

Setback (Distance from ROW/Property Line)

Principal Building

Front ¹	20' min.; 30' max.	A
Front Façade within Façade Zone	50% min.	
Side Street/Civic Space	12' min.; 25' max.	B
Side	5' min.; 12' min.	
	combined	C
Rear	25' min.	D

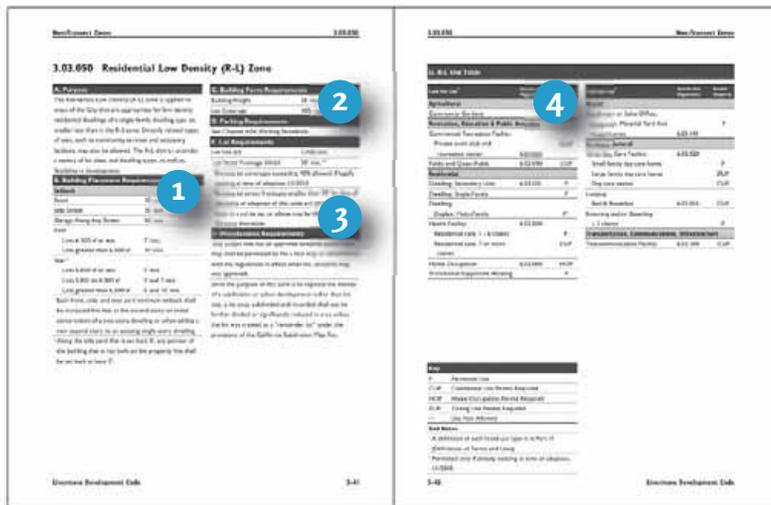
Accessory Building or Structure

Front	20' min.
Side	3' min.; 6' max.
Rear	3' min.

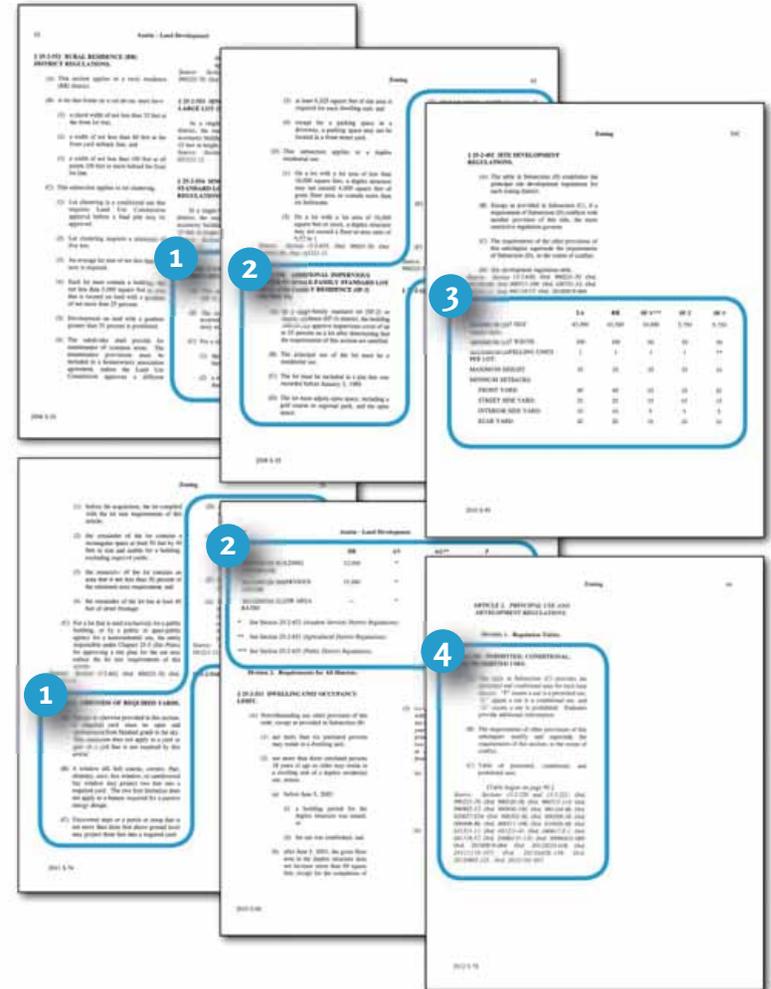
¹The setback may match an existing adjacent building as follows: the building may be placed to align with the façade of the front most immediately adjacent property, for a width no greater than that of the adjacent property's façade that encroaches into the minimum setback.

Code Format and Organization: Code Organization

Organization refers to the way information is arranged within the overall code document (the table of contents).



Potential Code: one location for all of the same regulations.



Existing Code: Many different locations to look for basic regulations.

Code Format and Organization Options: Comparing Options

Models	Effectiveness	Clarity	Consistency	Predictability	Simplicity	Ease of Implementation	Ease of Administration
1 REVISED CODE FORMAT AND ORGANIZATION	○	○	●	○	○	●	○
2 REPLACEMENT CODE FORMAT AND ORGANIZATION	●	●	●	●	●	○	●

Key: ● High Level ○ Medium Level ○ Low Level

- **Replacing** the code format and organization will produce a document that is:
 - **Substantially more simple to use** than revising code format and organization.
 - More **clear and predictable**.

Approach Elements:

Development Review Models

- Process by which development applications are submitted, evaluated, and ultimately approved or denied. Or more simply, **“how do you use the code.”**
- The **length of the review process**, the number of review loops, and the **subjective or objective** nature of the process should be kept in mind.
- In any of the development review models, careful consideration should be given to the development standards to ensure predictability in the built results.

Approach Elements:

Development Review Models

1. By-right (Standards-based)
2. Discretionary Review
3. Customized

Development Review Models:

I. By-Right (Standards-Based)

Models	Effectiveness	Clarity	Consistency	Predictability	Simplicity	Ease of Implementation & Administration
1 BY-RIGHT (STANDARDS-BASED)	●	●	●	●	●	●
Key: ● High Level ○ Medium Level ○ Low Level						

- In a by-right system, development **applications that comply** with zoning can **move** to the building department/permit **quickly**.
- This system is **most effective** when **clear development standards** provide **predictable built results**.
 - This can be applied to any Euclidean, performance or form-based standards.
- Example Administrative Site Plan Review.

Development Review Models:

2. Discretionary Review

Models	Effectiveness	Clarity	Consistency	Predictability	Simplicity	Ease of Implementation & Administration
2 DISCRETIONARY REVIEW	●	●	○	○	○	○
Key: ● High Level ● Medium Level ○ Low Level						

- **Standards are less specific** and allow for more interpretation.
- Requires a **more extensive, and sometimes subjective review** process to ensure the intent is met.
- Projects often undergo **multiple review loops** to obtain approval.
- Permits are **issued at the “discretion”** of the review authority.
- Example Sub-chapter E: Alternative Equivalent Compliance.

Development Review Models:

3. Customized Zoning

Models	Effectiveness	Clarity	Consistency	Predictability	Simplicity	Ease of Implementation & Administration
3 CUSTOMIZED ZONING	○	○	○	○	○	○

Key: ● High Level ● Medium Level ○ Low Level

- In a customized zoning system, **new and independent regulations** are necessary to successfully regulate major projects.
- These new regulations are **not coordinated** with the overall LDC.
- **Hard to administer** in the long term.
- Examples are planned unit developments (**PUD**) and small area plans (**regulating plans**).

Development Review Models: Comparing Development Review Models

Models	Effectiveness	Clarity	Consistency	Predictability	Simplicity	Ease of Implementation & Administration
1 BY-RIGHT (STANDARDS-BASED)	●	●	●	●	●	●
2 DISCRETIONARY REVIEW	●	○	○	○	○	○
3 CUSTOMIZED ZONING	○	○	○	○	○	○

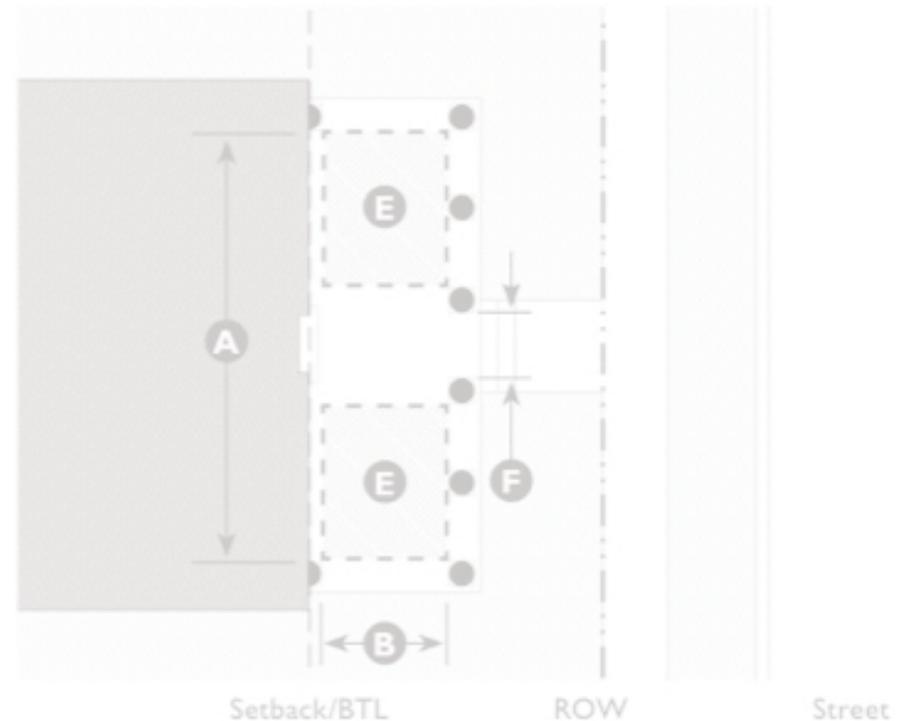
Key: ● High Level ○ Medium Level ○ Low Level

- **By-Right** achieves the **best scores** using these criteria.
- Discretionary Review can be **very effective in targeted applications**, especially when a clear process and criteria are defined.
- Customized Zoning achieves the weakest scores when assessed using these criteria.

Approach Elements:

Development Standards Models

- Development standards determine **what and how a code regulates**.
- Also affect the **efficiency** of different development review.



Approach Elements:

Development Standards Models

1. Euclidean Zoning Standards;
2. Performance Zoning Standards;
3. Form-Based Zoning Standards; and,
4. Hybrid code.

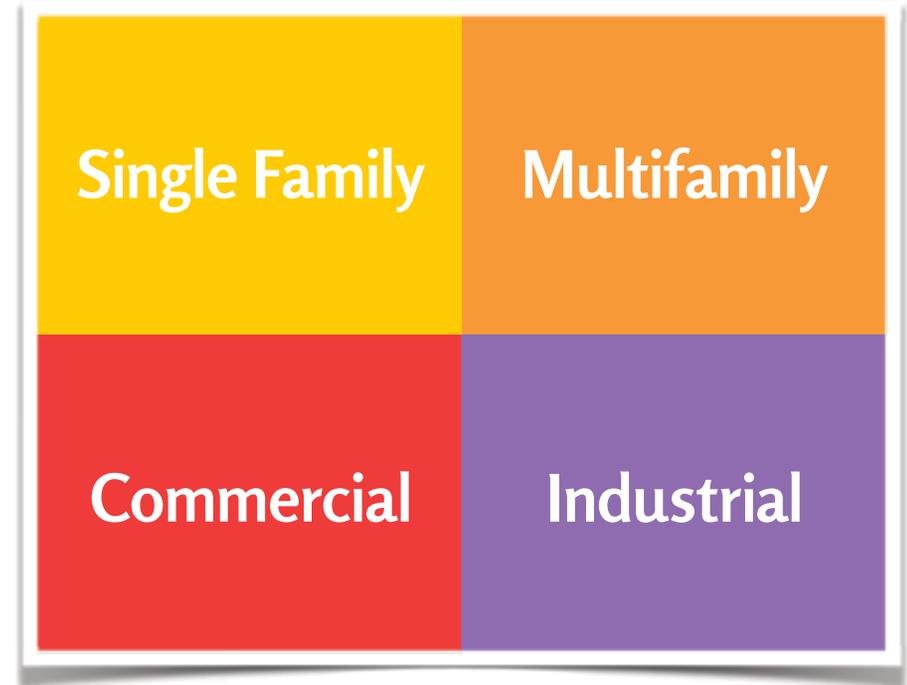
Development Standard Models:

I. Euclidean Zoning Standards

Models	Effectiveness	Clarity	Consistency	Predictability	Simplicity	Ease of Implementation	Ease of Administration
1 Euclidean Zoning Standards	●	●	●	○	●	●	○

Key: ● High Level ○ Medium Level ○ Low Level

- Zones and code structure **based primarily on desired uses**
Focus on use separation.
- Also sometimes called **use-based zoning** standards.



Development Standard Models:

2. Performance Zoning Standards

Models	Effectiveness	Clarity	Consistency	Predictability	Simplicity	Ease of Implementation	Ease of Administration
2 Performance Zoning Standards	●	○	●	●	○	○	○
Key: ● High Level ● Medium Level ○ Low Level							

- Regulates the **effects or impacts** of a proposed development or activity on the community. **Goal Oriented**
- Less specific standards, providing more flexibility, but often complex formulas that are hard to understand.
- Often used to protect natural resources.
- Performance standards can be negative or positive.
 - Ex. They can set a **maximum level for the noise impacts** or they can require **specified types of buffers** to be established between certain types of land uses.

Development Standard Models:

3. Form-Based Zoning Standards

Models	Effectiveness	Clarity	Consistency	Predictability	Simplicity	Ease of Implementation	Ease of Administration
3 Form-Based Zoning Standards	●	●	●	●	●	○	○

Key: ● High Level ○ Medium Level ○ Low Level

- Zones and code structure **based primarily on desired form** rather than desired use.
- Focus on building form and **public space**.
- Typical Standards:
 - Build-to-Lines;
 - Broad Approach to Uses (still has allowed use tables);
 - Frontages and Building Types; and,
 - Thoroughfare Standards.

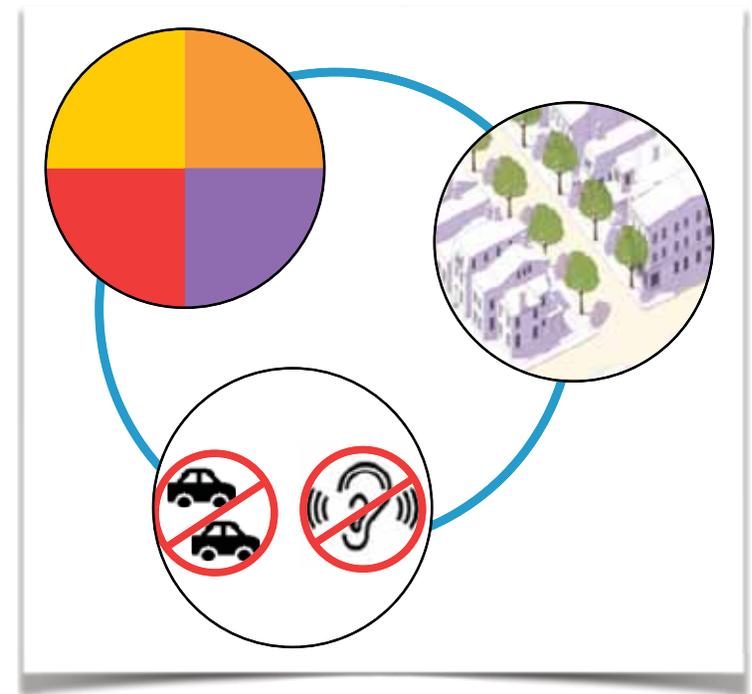


Development Standard Models:

4. Mix of Zoning Standards (Hybrid Code)

Models	Effectiveness	Clarity	Consistency	Predictability	Simplicity	Ease of Implementation	Ease of Administration
4 Mix of Zoning Standards (Hybrid Code)	●	●	●	●	●	●	●

Combination and **careful coordination** of the best of conventional, performance and form-based elements.



Development Standard Models: Comparing Models

Models	Effectiveness	Clarity	Predictability	Simplicity	Ease of Implementation	Ease of Administration
1 EUCLIDEAN-BASED ZONING STANDARDS	●	○	○	●	●	○
2 PERFORMANCE-BASED ZONING STANDARDS	●	○	●	○	○	○
3 FORM-BASED ZONING STANDARDS	●	●	●	●	○	○
4 MIX OF ZONING STANDARDS (HYBRID CODE)	●	●	●	●	●	○

Key: ● High Level ○ Medium Level ○ Low Level

- The mix of zoning standards – a Hybrid Code – **scores the highest** with this criteria.
- Form-Based Standards and Euclidean-Based Standards can be effectively applied to the right context.
- Performance standards can be **less simple and clear**, but can be effectively applied to implement certain goals.



Approach Comparison Table

Elements	Approaches		
	1	2	3
Code Format and Organization			
Format	Revise	Replace	Replace
Reorganization of Content	Limited	Extensive	Extensive
Content Rewriting	Low/Moderate	Moderate	High
Clean up for Consistency	————— Same Across All Approaches —————		
Development Review Models			
By-Right Review	Low	Medium	High
Customized Zoning	High	Medium	Low
Discretionary Review	Medium	Low	Low
Development Standards Models			
Euclidean Based	High	Medium	Low
Performance-Based	————— Same Across All Approaches —————		
Form-Based	Very Limited*	Medium	High
Is it a Hybrid?	No	Yes	Yes

* Applied only in New Small Area Plans

CodeNEXT Team Recommendation

Deep Clean: Why this Approach?

- Code Format & Organization: This approach introduces a new format and re-organization of the document to **maximize usability and clarity**.
- Development Review Models: This approach introduces a **good balance** of by-right development in selected areas and discretionary review where appropriate.

CodeNEXT Team Recommendation

Deep Clean: Why this Approach?

- Development Standards Models: This approach creates a hybrid code that applies Euclidean standards and form-based standards to appropriate contexts, **maximizing the benefits and strengths** of each without pushing the application of a form-based approach too aggressively.
- This approach is the closest alignment to Imagine Austin priority programs, community input (Listening to the Community Report) and Code Diagnosis.
- Best fit with Austin's civic culture and the community's desired level of change.

When does the team get more specific about code changes? How will detailed comments from the community and city staff be used?

- Fleshing out Table of Contents, with the core management team on staff to a higher level of detail.
- Continue to engage community, stakeholders, staff, boards and commissions and Council.



Approach Alternatives and Annotated Outline Upcoming Schedule

September 4:

- Approach Alternatives Document Released
- Council Comprehensive Plan & Transportation (CPT) Committee
- Community Presentation: Approach Alternatives Document

September 8-22: Board and Commission presentations

September 9: Planning Commission

September 16: Codes & Ordinances Committee of Planning Commission, and Zoning and Platting Commission

Approach Alternatives and Annotated Outline

Upcoming Schedule

September 22: Code Advisory Group meeting

September 23: Planning Commission (2nd meeting)

October 2: City Council briefing

October 6: Code Advisory Group meeting

October 20: Code Advisory Group meeting

October 23: City Council hearing

Q&A:

CODE NEXT

SHAPING THE AUSTIN WE IMAGINE

www.austintexas.gov/codenext



MEMORANDUM

TO: Dean Almy, Chair, and Members of the Design Commission

FROM: George Zapalac, Division Manager
Planning and Development Review Department

DATE: September 12, 2014

SUBJECT: CodeNEXT Code Approach Alternatives Report

This item is a presentation by CodeNEXT staff on the Code Approach Alternatives and Annotated Outlines report. This document describes three approaches to the reorganization and rewriting of the Land Development Code. The approaches range from reorganizing the current content of the Code to rewriting large section of the Code. The preferred approach and annotated outline selected by the City Council will establish the general direction for revising the Code and allow the consultant team to begin work on more detailed outlines and drafting the actual content of the new code.

A flyer describing the report is attached. Full copies of the report have been distributed via e-mail, and briefings to additional boards and commissions will be presented throughout September of 2014. A public hearing before the full Planning Commission will be scheduled for September 23, and City Council will conduct a hearing on the report on October 23. A full schedule of meetings to review the Approach Alternatives is attached.

At this time we are asking that the Design Commission provide comments and/or recommendations on the Code Approach Alternatives for consideration by the Planning Commission and City Council.

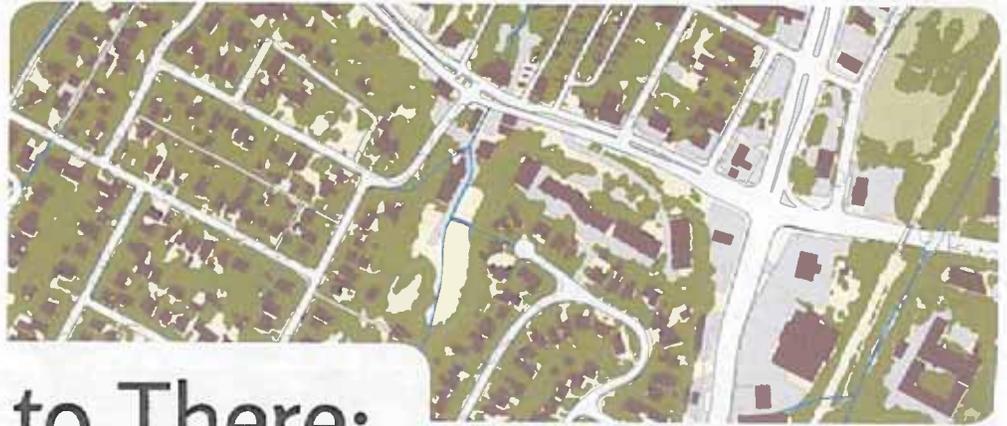
If you have questions or need additional information, please contact me at (512) 974-2725.

A handwritten signature in blue ink that reads "George Zapalac".

George Zapalac
Planning and Development Review Department

Review Schedule for Code Approach Alternatives Report

Code Advisory Group/Public Event to present Code Approaches	Thursday, September 04, 2014
Waterfront Planning Advisory Board	Monday, September 08, 2014
Planning Commission (1st date)	Tuesday, September 09, 2014
Community Development Commission	Tuesday, September 09, 2014
Planning Commission Codes & Ordinances Committee	Tuesday, September 16, 2014
Zoning and Platting Commission	Tuesday, September 16, 2014
Environmental Board	Wednesday, September 17, 2014
Urban Transportation Commission	Thursday, September 18, 2014
Code Advisory Group (2nd meeting)	Monday, September 22, 2014
Design Commission	Monday, September 22, 2014
Planning Commission (2nd date)	Tuesday, September 23, 2014
City Council briefing	Thursday, October 02, 2014
Code Advisory Group (3rd meeting)	Monday, October 20, 2014
City Council Hearing	Thursday, October 23, 2014



From Here to There: Setting a Path for Austin's Code

CODE APPROACH ALTERNATIVES & ANNOTATED OUTLINES | SEPTEMBER 4, 2014 | EVENT HANDOUT

Choosing an Approach for Austin's Future

The Code Approach Alternatives & Annotated Outlines document describes three approaches to the reorganization and rewriting of Austin's Land Development Code (LDC). The approaches range from reorganizing the current content of the existing Code to rewriting large sections of the LDC. The preferred approach and annotated outline identified by the city council will establish the general direction for revising the LDC and will allow the consultant team to begin work on more detailed outlines. In early 2015 the preferred approach will be presented to the new City Council to allow policymakers to provide any additional guidance. A brief overview of the three Alternative Approaches and the CodeNEXT team's Recommended Approach is found on Pages 2 and 3.

▶ Download a copy of the report online at www.austintexas.gov/codenext.



What does choosing a Code Approach do and not do?

- The selection of a preferred Code Approach by the City Council will set a general framework for the format and organization of the LDC, the ways in which development applications are reviewed and standards administered, and the types of development standards that will be crafted.
- The selection of a preferred Code Approach does not change development standards, revise zoning districts or neighborhood plans or create new zoning districts in the LDC. Instead it chooses a direction for the CodeNEXT team to explore with Austinites. Decisions on what standards remain the same, what standards change, where standards apply across the city and how they are administered will be explored during the next phase of CodeNEXT.
- Selecting an approach also does not decide where revised or new zoning districts will be "mapped" (where specific zoning districts and regulations apply). Decisions on where the revised or new zoning districts are mapped will occur after new draft zoning districts are crafted and will be thoroughly and publicly discussed.

How and when will the new Code be created?

- The preferred Approach will set a framework for the new Code. The development of the content of the new Code will be based on policy direction from Imagine Austin, adopted Neighborhood Plans and master plans, Council policies such as Complete Streets, etc., the Code Diagnosis, and public and staff input. The Code team will begin work on the Code in late 2014. The public and stakeholders will have multiple opportunities to review and comment on the draft content of the Code.

What opportunities will the community have to review the content?

- As content is completed, the Code will go through a review process that includes the community, stakeholder groups, the Code Advisory Group (CAG), boards and commissions, and City Council.

Choosing The Approach

Recommended Approach

Major Elements of a Code

	Brisk Sweep 1	Deep Clean 2	Complete Makeover 3
Code Format and Organization How the LDC is formatted and organized.			
Format - The way information is presented on a page	Revise	Replace	Replace
Reorganization of Content - The way information is arranged	Limited	Extensive	Extensive
Content Rewriting - The extent of content revisions	Low/Medium	Medium	High
Clean up for Consistency	Same Across All Approaches		
Development Review How the LDC is used to evaluate and permit development projects. See glossary for definitions.			
By-Right Review - Development applications that comply with zoning can move to the building department/permit quickly	Low	Medium	High
Customized Zoning - New and independent regulations are necessary to regulate major projects	High	Medium	Low
Discretionary Review - A permit is issued at the "discretion" of the review authority	Medium	Low	Low
Development Standards The type of standards that comprise the LDC. See page 3 for further definitions.			
Euclidean Based - Focus on use separation and simple height/bulk standards	High	Medium	Low
Performance-Based - Focus on impacts of use and are more complex development standards	Same Across All Approaches		
Form-Based - Focus on building form and public space	Very Limited*	Medium	High
Is it a Hybrid? - Uses the above development standards in combination	No	Yes	Yes

* Applied only in New Small Area Plans

Each of the major elements of the Code have been evaluated on a set of performance criteria detailed in the Code Approach Alternatives & Annotated Outlines Report - available online at www.austintexas.gov/codenext.

KEY

Revise

Use the existing Code framework/organization, with a cleaned up and targeted recalibration of standards. May create new districts and compress some existing districts, but few changes to the overall Code structure.

Replace

Replace the entire Code framework/organization with a new, alternative framework and recalibrate the standards in detail.

Low/Medium/High

Extent of application

Very Limited/Limited/Extensive

Extent of application

▶ See *Approach Alternatives and Annotated Outlines* for more details on the elements and alternatives at www.austintexas.gov/codenext.

Recommendation

Approach 2: Deep Clean

This approach would substantially improve the appearance, usability and consistency of the Code through a significant reworking of its content and structure. Approach 2 provides a balanced mix of by-right review, customized zoning, and discretionary review where appropriate. Through careful refining and vetting of development standards, this approach will establish Form-based standards for walkable urban contexts, Euclidean-based standards for drivable suburban areas and maintain many of the Performance-based standards that exist today.

Code Format and Organization

Under this approach the format of the Code document is entirely replaced and content is reorganized to optimize usability. Content is substantially cleaned up with targeted rewriting. The graphic format will be updated with new font styles and sizes, improvements to the basic page layout, and the addition of significant supporting graphics.

Development Review

Because Form-based standards and revised Euclidean standards will be carefully created and refined, the development review process can rely more heavily on by-right review in addition to some customized zoning in areas where the more detailed standards do not apply. Discretionary review remains in use in more limited portions of Austin, where it is still needed or desired.

Development Standards

In this approach a hybrid Code is created that establishes Euclidean, Performance, and Form-based standards in different parts of Austin based on the defined context (walkable urban, transitional, or drivable suburban), and which tool best implements existing plans such as Imagine Austin, Neighborhood Plans and other small area plans.

While each of the three Approaches has its own merits and will provide a basic level of improvement to the Code, the CodeNEXT Team recommends Approach 2 based on a combination of factors. These include alignment with Imagine Austin Priority Programs, public and staff input, technical analysis of the LDC in the Code Diagnosis, the best combination of Approach Elements, and our understanding of the desired level of change within the community. We believe that Approach 2 offers the best combination of technical solutions and best fit with Austin's civic character as it includes a balance between significant change and maintaining community values.

Other Approaches Not Recommended

Approach 1: Brisk Sweep

Approach 1 provides clean up of the existing LDC with targeted refinements, but does not make any major structural or organizational changes. Under this approach the organization of the Code document is minimally revised and reorganized only to address the most urgent usability issues in the existing Code. Form-based standards would have limited application, primarily to future small area plans. Combining districts are compressed where feasible, though most will remain in place. Some zoning districts are removed and new zoning districts are added.

Approach 3: Complete Makeover

Approach 3 provides the most extensive modifications to the LDC. This approach improves the appearance, usability, and consistency of the existing LDC by significantly reworking its content and structure. Development standards would be refined to the point that would allow for a development review process that relies primarily on by-right review. Performance-based and some Euclidean-based standards will remain. Combining districts are compressed where feasible. Form-based standards will be created and applied widely across the city.



Types of Zoning

Euclidean-Based Zoning standards, also sometimes called use-based zoning standards, focus on use separation and simple height/bulk standards. Euclidean zoning was designed to limit uses in undesirable locations rather than encourage uses in desired locations.

Performance-Based Zoning standards focus on impacts of use and are more complex development standards. Performance zoning is still based on limiting an undesired effect. However it allows for a more precise application of limits than conventional zoning.

Form-Based Zoning standards focus on building form and definition and activation of public space. Form-based zoning standards go beyond simply limiting an undesired effect by encouraging appropriate building scale and format in places where a specific type and form of development is desired.

Hybrid Zoning standards apply a mix of Euclidean-based, Performance-based, and Form-based standards based on the context of the area and desired uses.

Selecting an Approach

DOES

- ✔ **Set a framework**
Creates parameters to guide the revision of the LDC.
- ✔ **Allow for future flexibility**
Future City Council will have opportunity to reaffirm selected Approach.
- ✔ **Establish a road map for updating the Code**
Chooses a direction for the CodeNEXT team to explore with Austinites.

▶ *Read or download a list of Frequently Asked Questions at www.austintexas.gov/codenext.*

DOES NOT

- ✗ **Change existing regulations or policies such as Neighborhood Plans**
Does not say which regulations will be kept, replaced, or removed.
- ✗ **Revise zoning districts, neighborhood plans, or create new districts**
No recommendations of districts.
- ✗ **Decide where new or revised zoning districts will apply within the City**
Code Approach does not provide direction for mapping.

Next Steps

Beginning in 2015

Discuss Issues

and Themes: CodeTALKs

During the drafting of the Code, a series of CodeTALKs will be held to discuss issues and themes raised by the public and staff. The input received in the Listening to the Community Report, the Code Diagnosis and the Community Character Manual will be used as starting points for community discussions on topics and issues.

Revising and Crafting New Standards

The development of the new Code will be based on policy direction from Imagine Austin, adopted Neighborhood Plans and master plans, Council policies such as Complete Streets, and input received from the public.

Discuss and Revise Proposed Standards

As specific content is drafted, the Code will go through an iterative review process that includes the public, stakeholder groups, the CAG, and boards and commissions.

Adoption

After revising the proposed standards, the completed Code will go through a community review process to include stakeholder groups, the CAG, boards and commissions, and City Council.

Mapping of Revised and New Zoning Districts

Once the new Code is adopted new zoning districts will need to be applied or "mapped" across the city. The mapping process will be defined as the Code is being revised.

Glossary of Key Terms

Approaches

Unique combinations of elements of a Code that determine what kind of regulations are included, reviewed, and how the information is presented.

Annotated Outline

A summary of the Code structure and organization for an approach alternative (refined during drafting of the Code).

Elements of a Code

Different aspects of a land development Code that provide the standards and means of enforcement that make the Code document useful and actionable. These include the format and organization of the Code document, development review models, and development standards models.

By-right Review

A development review model where development applications are approved or denied based on compliance with an established, well-articulated set of measurable standards. Applications meeting established standards are approved without further review.

Customized Zoning

A development review model that requires new and independent regulations for major new projects. Often not coordinated with the overall LDC and are applicable only to the specific project for which they are written (Planned Unit Developments -PUDs and regulating plans).

Discretionary Review

A development review model that relies on established standards that are generally less specific than other models and that require interpretation by the reviewer, thus necessitating an extensive and sometimes subjective review process to ensure the intent of the standards are met. Projects often undergo multiple review cycles to obtain approval using this review model.

Mapping

The process of determining where zones are applied within the City; The act of outlining zoning districts on a map.



City of Austin Contact:

Matt Dugan (512) 974-7665
codenext@austintexas.gov



@ImagineAustin
Use #CodeNEXT



[facebook.com/ImagineAustin](https://www.facebook.com/ImagineAustin)

How To Stay Involved

Stay plugged in at the Imagine Austin Facebook page and at the project website at www.austintexas.gov/codenext

SpeakUpAustin

Join the conversation online and share your thoughts on this or other reports. <https://austintexas.granicusideas.com/projects/codenext-shaping-the-austin-we-imagine>

PEASE PARK MASTER PLAN

Item 4A

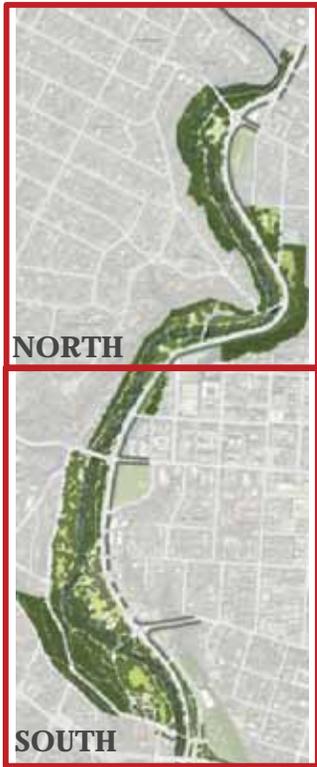
- Pease Park dates to 1875 donation of land from Governor Pease to City of Austin
- Partnership between PARD & Pease Park Conservancy to develop first Master Plan
- Master Plan Developed by Wallace Roberts & Todd (WRT)
- Three Public Meetings:
 - November 21, 2013
 - February 27, 2014
 - June 5, 2014
- Close to 1,000 survey responses
- Comprehensive Technical Advisory Team

PEASE PARK MASTER PLAN

An aerial photograph of Pease Park in Boston. A paved road curves through the park, bordered by a dense forest of trees. A stream flows through the park, parallel to the road. In the background, the city skyline of Boston is visible under a clear sky.

- Overview of Project Area
- 4 Goals / Themes
 - Natural Heritage
 - Cultural Heritage
 - Recreational Trail System and Gateways
 - Civic Connections

THE MASTER PLAN: 5 HUBS

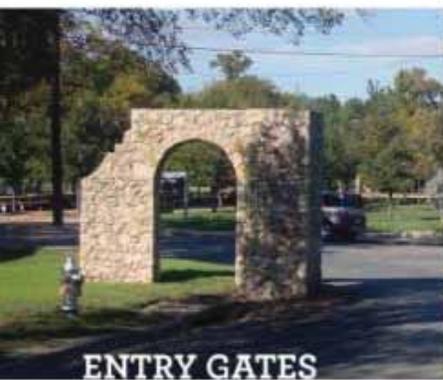


1. Kingsbury Commons
2. Polecat Hollow
3. Custer's Meadow
4. Gaston Green
5. Lamar Terrace

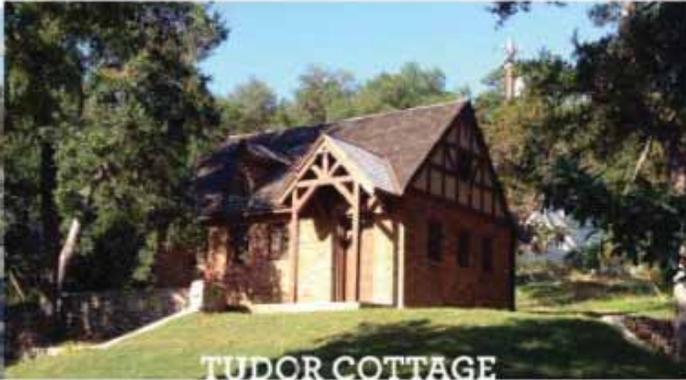
PEASE PARK MASTER PLAN SUMMARY OF RECOMMENDATIONS

- Additional tree planting and improved natural areas including erosion control
- Sensitively adapt historic Tudor Cottage restrooms
- Improved and expanded trail system
- Realignment of Kingsbury Commons amenities
- Restrooms at Lamar Terrace
- Better connectivity and gateways

CULTURAL HERITAGE



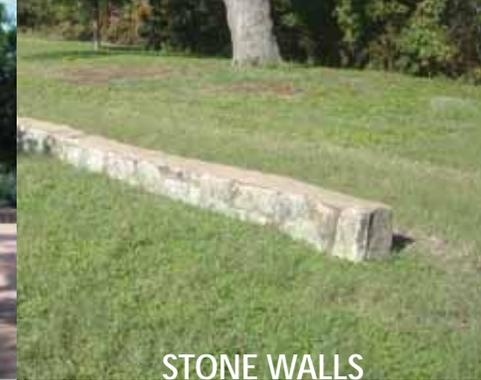
ENTRY GATES



TUDOR COTTAGE



CCC PICNIC TABLES



STONE WALLS



TUDOR COTTAGE / MULTIUSE PAVILION



PICNIC PAVILION



HISTORY HUT



BUS SHELTER



RESTROOM / OVERLOOK

TRAIL SYSTEM AND GATEWAYS

PROPOSED TRAIL SYSTEM



Shared Use Trails

— Shoal Creek Trail = 1.75 Miles
(Families, Joggers, Dog Walkers, Casual Bikers)

— Lamar Trail = 1.60 Miles
(Commuters, Transit Users, Through Traffic)



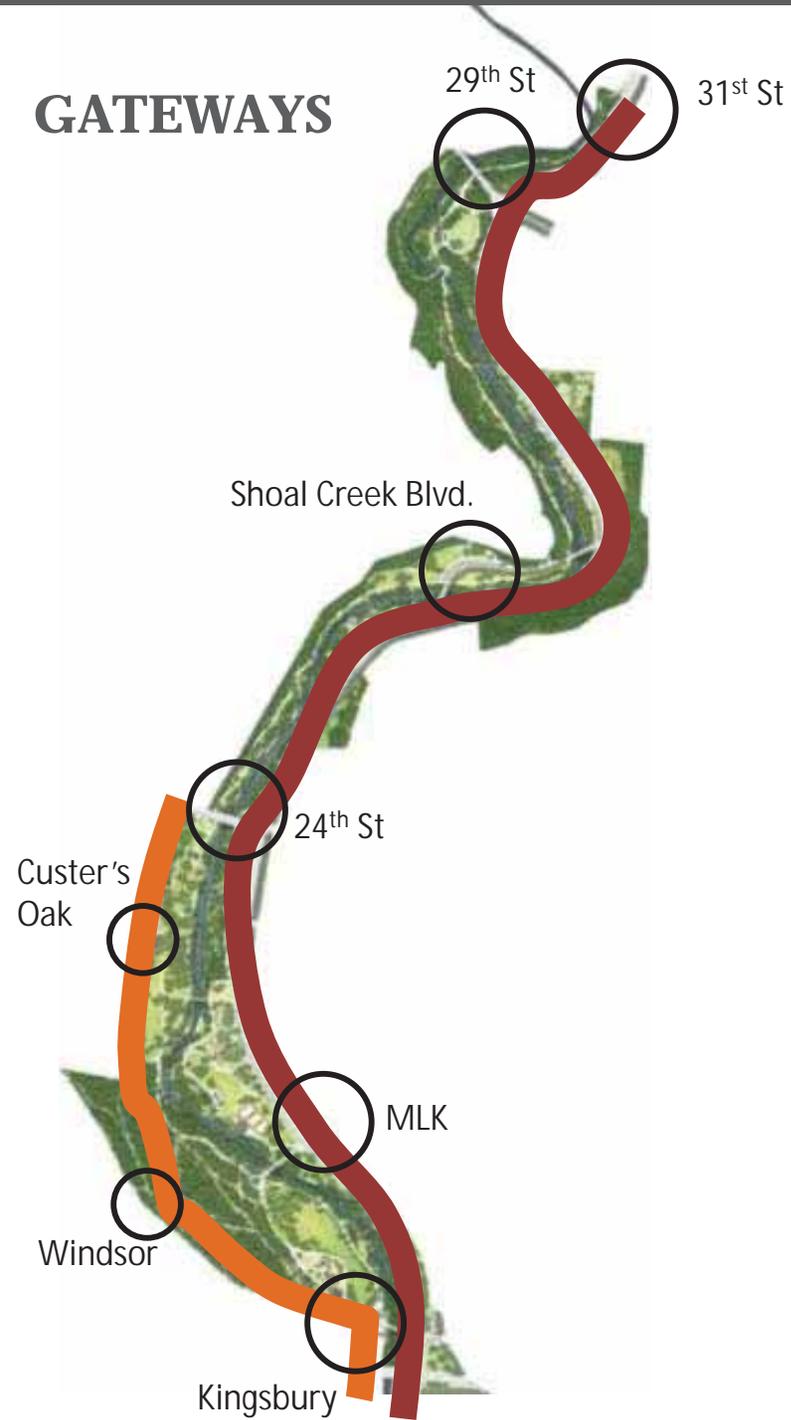
ML KING AVENUE GATEWAY



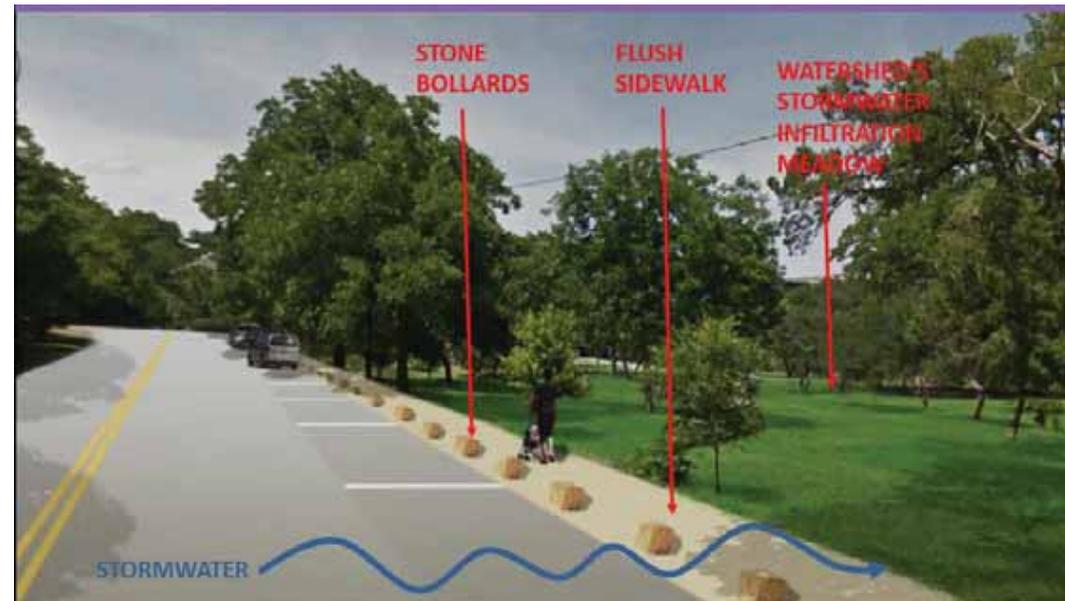
**SHOAL CREEK TRAIL
AT WOOTEN WOODS**

CIVIC CONNECTIONS: LAMAR BOULEVARD & PARKWAY

GATEWAYS



LAMAR BLVD AS CIVIC PARKWAY



Narrowed
Driving Lanes

PARKWAY/KINGSBURY AS PARK ROAD

KINGSBURY COMMONS



1. KINGSBURY GATEWAY

KINGSBURY COMMONS: EXISTING



KINGSBURY COMMONS: PROPOSED



1



2. POLECAT HOLLOW



3. CUSTER'S MEADOW



4. GASTON GREEN



5. LAMAR TERRACE

PEASE PARK MASTER PLAN

NEXT STEPS

Staff Recommends the plan for approval

- Aug. 20 Environmental Board
- Aug. 25 Design Commission
- Aug. 26 Planning Commission
- Sept. 8 Land, Facilities & Programs Committee
- Sept. 17 Urban Forestry Board
- Sept. 23 Parks and Recreation Board
- Oct. 16 Presentation to City Council



Seton Medical Center
at The University of Texas
15th Street Pedestrian Bridge 17 September, 2014



HKS

OPTION A Route via Red River

Description:

Patrons circulate via the existing elevator bank located on south side of garage to street level and proceed north along Red River. All patrons enter through main entrance; ER patrons alternately can walk along 15th street west to the lower level ER entry.

Comments:

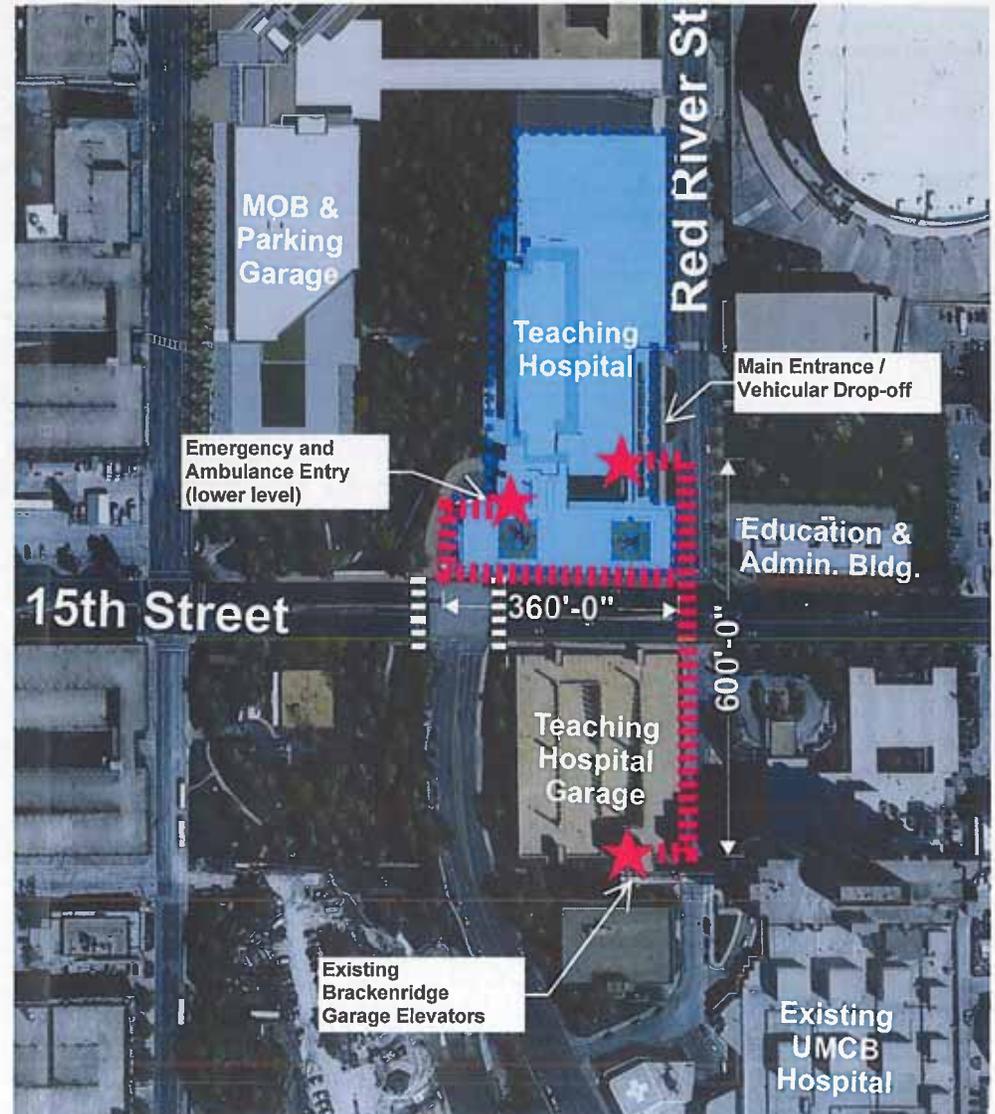
Route for non-ambulatory patients (wheelchairs, etc) over 600'

Crossing pedestrian traffic at light at 15th street could cause disruption in west bound traffic between Red River and the I-35 Frontage Road due to limited distance

Hospital patients will be "in the elements" for extended period

Safety concerns with ambulance traffic and pedestrian crossings

Route along 15th Street is non-accessible



OPTION B Route via Tunnel Under Red River

Description:

Patrons circulate via new elevator bank located on north side of garage to below street level and proceed along tunnel under Red River. All patrons enter through main entrance; pedestrian routes alternately occur at street level crosswalks from garage

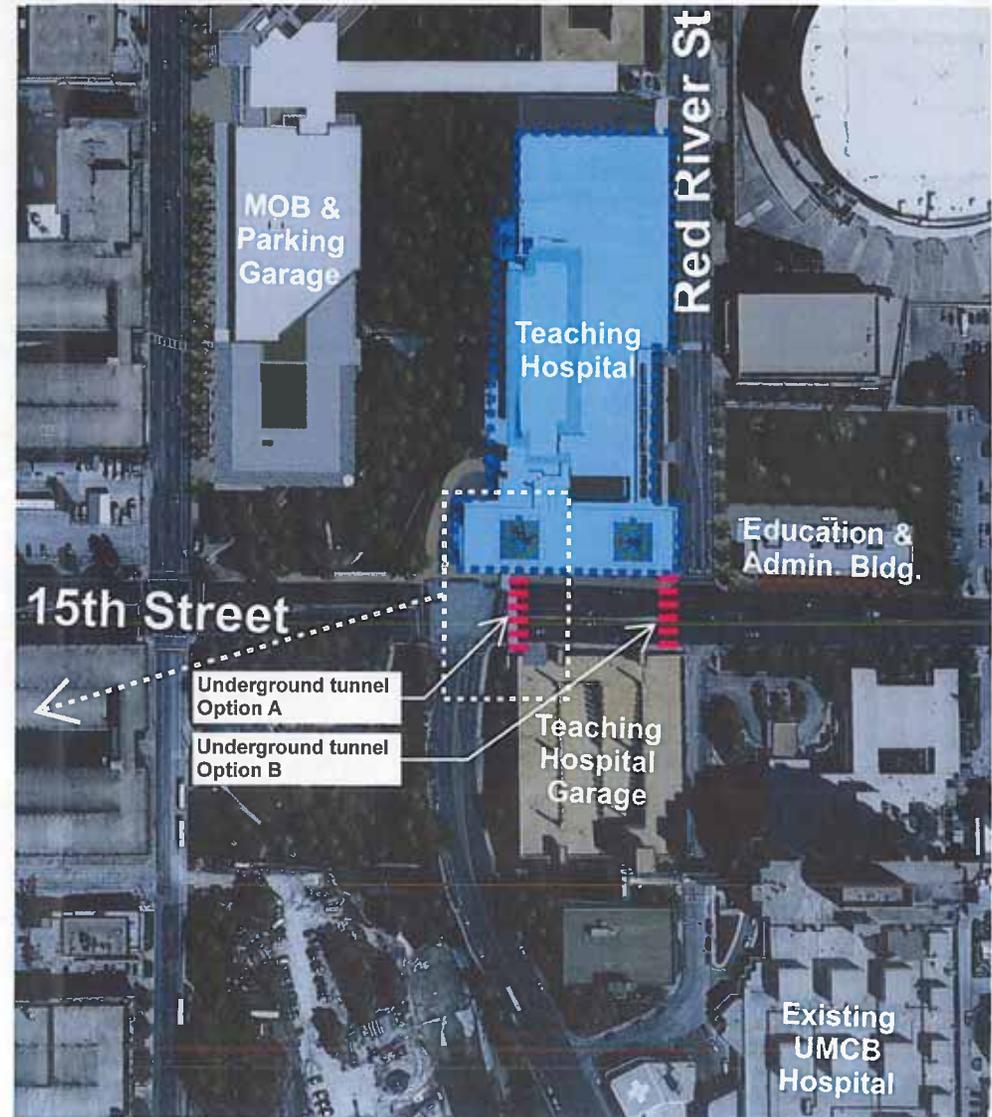
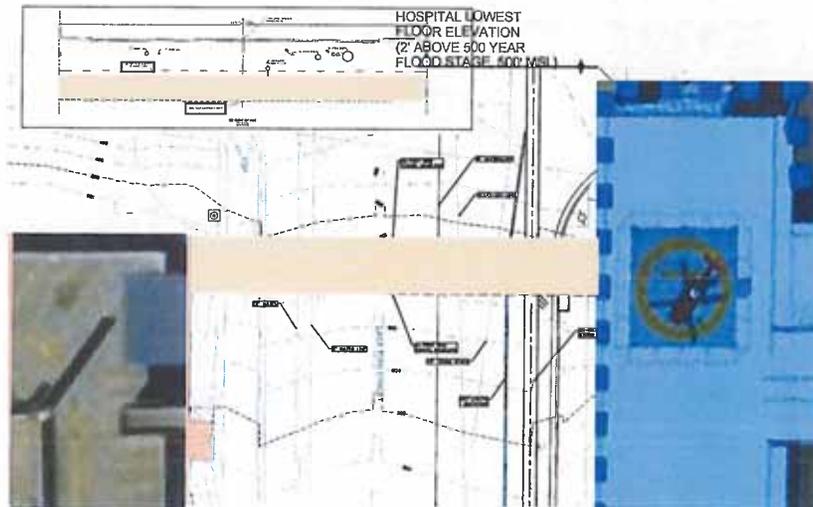
Comments:

Tunnel below 100/500 year flood stage

Additional vertical transportation required within hospital due to elevation of tunnel relative to lower level

Tunnel construction has potential schedule impacts (depth of excavation, traffic impacts; utility relocations, etc.)

Entry lacks "celebration"



OPTION C

Route via New Elevator Tower to Street Level (requires further study to confirm viability)

Description:

Patrons circulate via new elevator bank located on north side of garage to street level and proceed to pedestrian crossings at Red River. All patrons enter through main entrance or at lower level ER

Comments:

Crossing pedestrian traffic at light at 15th street could cause disruption in west bound traffic between Red River and the I-35 Frontage Road due to limited distance

Hospital patients will be "in the elements" for extended period

Location of new elevator core creates additional renovation and excavation within lower level garage (schedule impacts, budget impacts)

Route doesn't take advantage of Waller Creek views

Route along 15th Street is non-accessible



OPTION D Route via New Elevator Tower to Pedestrian Bridge Over 15th Street

Description:

Patrons circulate via new elevator bank located on north side of garage to a pedestrian bridge. Patrons enter at main level of hospital near public elevators. Additionally, street level pedestrian crossings occur at "new" and "old" Red River/15th Street intersections.

Comments:

Safety concerns with hospital patrons crossing 15th Street mitigated

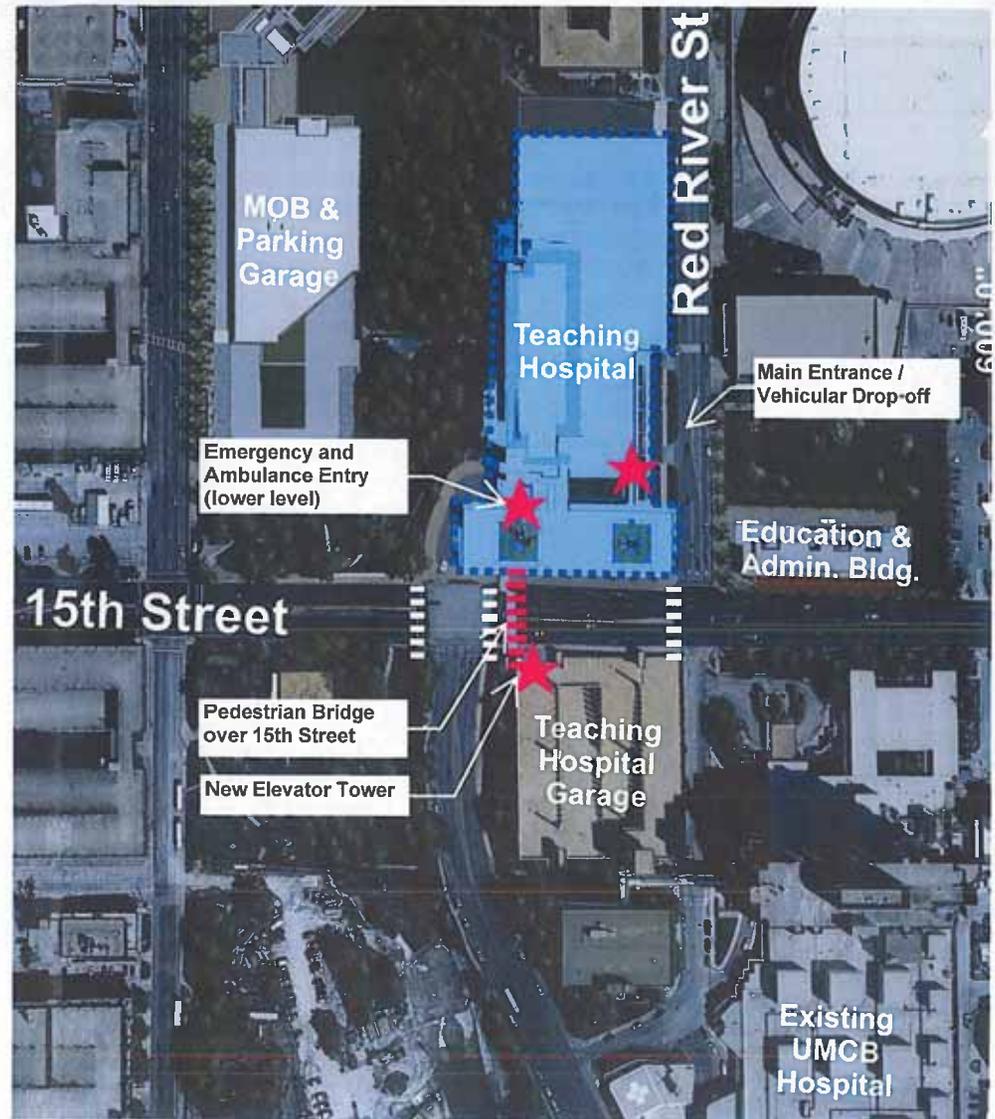
Limited traffic impacts

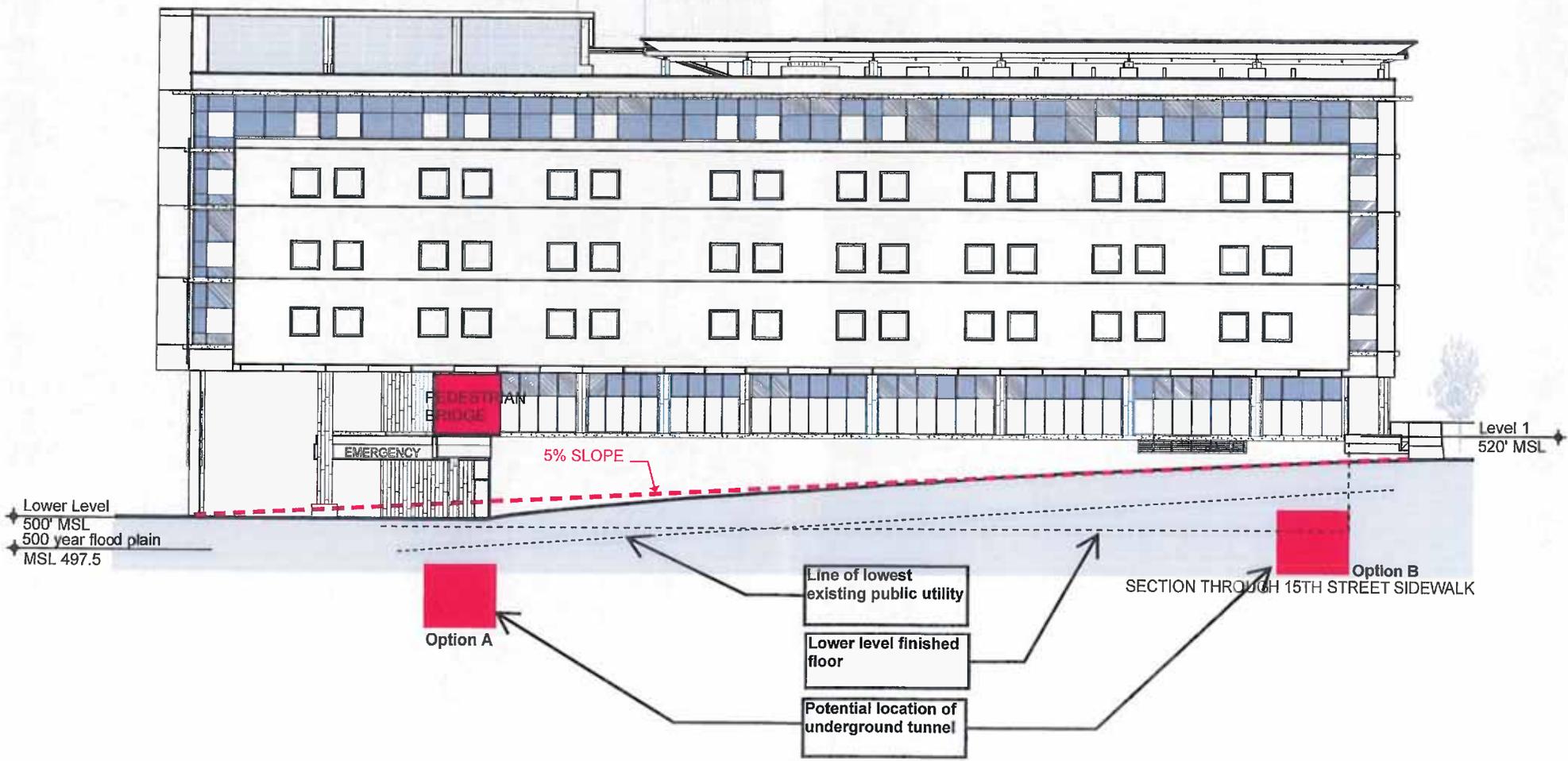
Hospital patients out of the elements

Average walking distance to hospital entry for non-ambulatory patrons shortest

Opportunity to remain at street level still exists but at a reduced number

Route takes advantage of Waller Creek views







**City of Austin
Design Commission – Project Submittal Consideration Sheet**

Project Name: Seton Medical Center at The University of Texas at Austin (SMCUT) - Aerial Walkway		
Project Location/Address: 1500 Red River Street		
Applicant: David Armbrust, Armbrust & Brown, PLLC	Property Owner: See attached	
Mailing Address: 100 Congress Avenue, Suite 1300, Austin, TX 78701	Mailing Address: See attached	
Phone Number: 512-435-2301	Phone Number: See attached	
Project Architect/Engineer: David Prusha, HKS	Project Start Date: Sept 1, 2014	Project End Date: Nov 1, 2016
Mailing Address: 350 N Saint Paul St, Suite 100, Dallas, TX 75201-4240	Phone Number: 214-969-3319	
Is project subject to redevelopment site plan or zoning application approvals? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Anticipated Dates of Action Planning Commission: Aug 26, 2014 City Council: Sept 26, 2014	
Narrative Description of Proposed Project (including entitlements that you are seeking; attach or add additional page(s) as necessary) : See attached		
Is Alternative Equivalent Compliance (AEC) requested for this project? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, please refer to following page		
Current Status of Submittal: <input type="checkbox"/> Conceptual <input type="checkbox"/> Schematic <input checked="" type="checkbox"/> Design Development		
Do you have a copy of the Urban Design Guidelines for Austin? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If not, please see: http://www.ci.austin.tx.us/downtown/downloads/urban_design_guidelines_for_austin.pdf		
Please fill in the subsequent information on the following pages.		



**City of Austin
Design Commission – Project Submittal Consideration Sheet (Continued)**

Relate the project to applicable items addressed in the Urban Design Guidelines for Austin. For an explanation of each guideline, please review the document at: http://www.ci.austin.tx.us/downtown/downloads/urban_design_guidelines_for_austin.pdf

ALTERNATIVE EQUIVALENT COMPLIANCE (AEC)

Is AEC being requested for this project? Yes No

If yes, please explain nature of request including alternatives offered and entitlements sought. Attach additional page if necessary.

AREA WIDE GUIDELINES

1. Create dense development

incorporated, need input, N/A

2. Create mixed-use development

incorporated, need input, N/A

3. Limit development which closes downtown streets

incorporated, need input, N/A

4. Buffer neighborhood edges

incorporated, need input, N/A

5. Incorporate civic art in both public and private development

incorporated, need input, N/A

6. Protect important public views

incorporated, need input, N/A

7. Avoid historical misrepresentations

incorporated, need input, N/A

8. Respect adjacent historic buildings

incorporated, need input, N/A

9. Acknowledge that rooftops are seen from other buildings and the street

incorporated, need input, N/A

10. Avoid the development of theme environments

incorporated, need input, N/A

11. Recycle existing building stock

incorporated, need input, N/A

GUIDELINES FOR THE PUBLIC STREETScape

1. *Protect the pedestrian where the building meets the street*

incorporated, need input, N/A

2. *Minimize curb cuts*

incorporated, need input, N/A

3. *Create a potential for two-way streets*

incorporated, need input, N/A

4. *Reinforce pedestrian activity*

incorporated, need input, N/A

5. *Enhance key transit stops*

incorporated, need input, N/A

6. *Enhance the streetscape*

incorporated, need input, N/A

7. *Avoid conflicts between pedestrians and utility equipment*

incorporated, need input, N/A

8. *Install street trees*

incorporated, need input, N/A

9. *Provide pedestrian-scaled lighting*

incorporated, need input, N/A

10. *Provide protection from cars/promote curbside parking*

incorporated, need input, N/A

11. Screen mechanical and utility equipment

incorporated, need input, N/A

12. Provide generous street-level windows

incorporated, need input, N/A

13. Install pedestrian-friendly materials at street level

incorporated, need input, N/A

GUIDELINES FOR PLAZAS AND OPEN SPACE

1. Treat the four squares with special consideration

incorporated, need input, N/A

2. Contribute to an open space network

incorporated, need input, N/A

3. Emphasize connections to parks and greenways

incorporated, need input, N/A

4. Incorporate open space into residential development

incorporated, need input, N/A

5. Develop green roofs

incorporated, need input, N/A

6. Provide plazas in high use areas

incorporated, need input, N/A

7. Determine plaza function, size, and activity

incorporated, need input, N/A

8. Respond to microclimate in plaza design

incorporated, need input, N/A

9. Consider views, circulation, boundaries, and subspaces in plaza design

incorporated, need input, N/A

10. Provide an appropriate amount of plaza seating

incorporated, need input, N/A

11. Provide visual and spatial complexity in public spaces

incorporated, need input, N/A

12. Use plants to enliven urban spaces

incorporated, need input, N/A

13. Provide interactive civic art and fountains in plazas

incorporated, need input, N/A

14. Provide food service for plaza participants

incorporated, need input, N/A

15. Increase safety in plazas through wayfinding, lighting, & visibility

incorporated, need input, N/A

16. Consider plaza operations and maintenance

incorporated, need input, N/A

GUIDELINES FOR BUILDINGS

1. Build to the street

incorporated, need input, N/A

2. Provide multi-tenant, pedestrian-oriented development at the street level

incorporated, need input, N/A

3. Accentuate primary entrances

incorporated, need input, N/A

4. Encourage the inclusion of local character

incorporated, need input, N/A

5. Control on-site parking

incorporated, need input, N/A

6. Create quality construction

incorporated, need input, N/A

7. Create buildings with human scale

incorporated, need input, N/A

LANDOWNER INFORMATION FOR 1701 RED RIVER STREET

Name: Board of Regents of The University of Texas System

Address: 201 W. 7th Street, Suite 416, Austin, TX 78701

Phone: (512) 459-4333

LANDOWNER INFORMATION FOR 601 E 15th STREET

Name: Travis County Healthcare District c/o John Stephens

Address: 111 E. Cesar Chavez Street, Suite B, Austin, TX 78702

Phone: (512) 431-0882

NARRATIVE DESCRIPTION OF PROPOSED PROJECT

The Seton Family of Hospitals submitted an aerial encroachment agreement application (the “Application”) for providing dedicated pedestrian access between the new Seton Medical Center Austin at The University of Texas (SMCUT) and the existing parking garage currently serving University Medical Center Brackenridge (UMCB).

The SMCUT will be constructed at 1500 Red River Street, on the north side of 15th Street. All parking will be provided in the existing UMCB parking garage at 601 E. 15th Street, which is across 15th Street. The Application seeks approval for an encroachment agreement to cross 15th Street with an aerial walkway, which will connect the two facilities.

We understand that the recently adopted Downtown Austin Plan (DAP) discourages sky-bridges; however, we believe this is a unique situation for the following reasons:

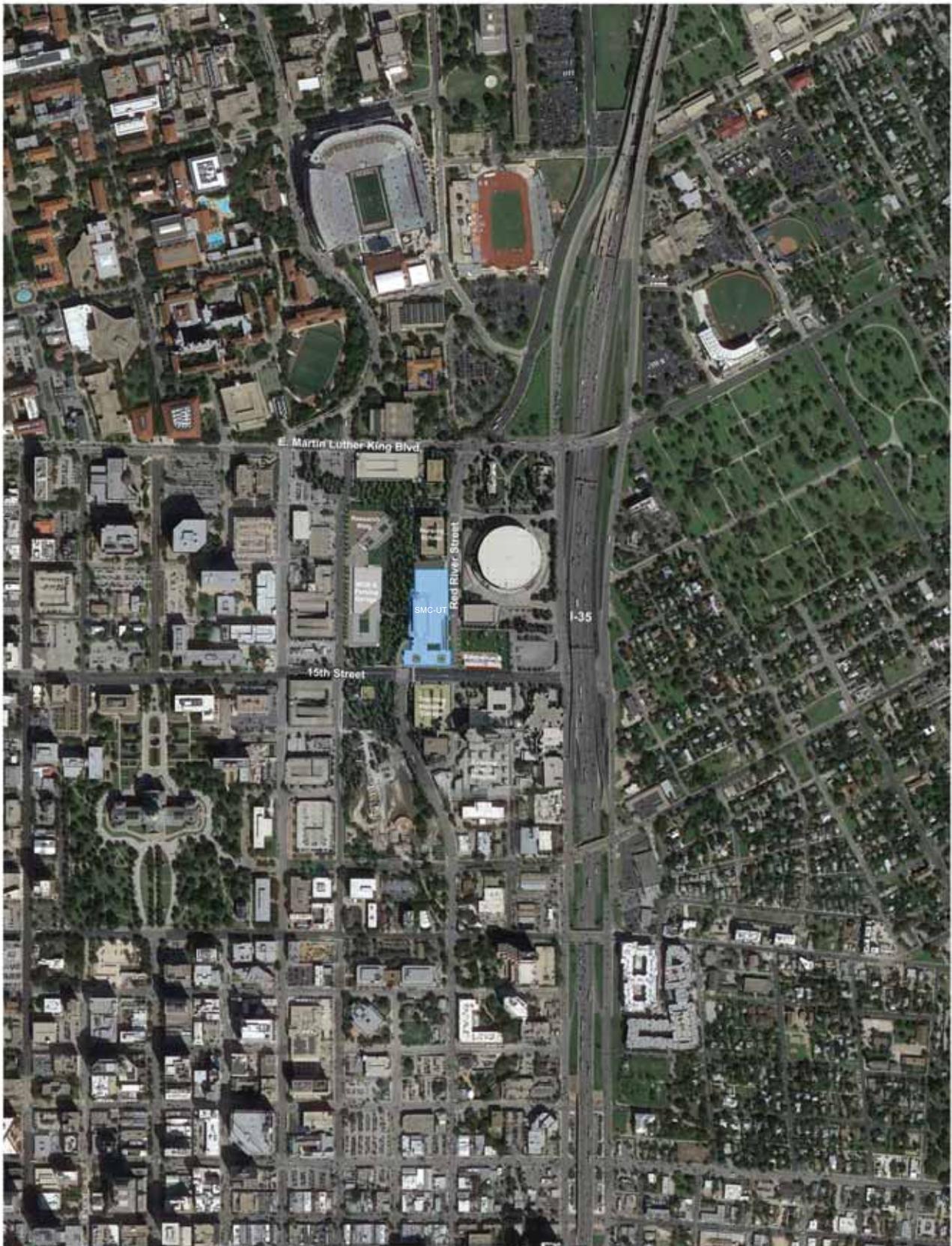
1. Seton is dedicated and obligated to provide safe and efficient access for patients, visitors, physicians and staff to the hospital. The aerial walkway will provide safe access across 15th Street for patients and hospital staff to cross 15th Street from the primary and possibly the only parking facility serving the hospital.
2. The topography at the intersection of 15th Street and Red River Street is hilly, making pedestrian access less than ideal for patients entering the hospital at ground level.
3. Traffic at the intersection of 15th Street and Red River Street would also make pedestrian access difficult for patients and staff entering the hospital at ground level. Approximately 3,000 patients, visitors, staff, physicians, and volunteers are expected to cross daily from the parking garage to SMCUT in each direction, with the heaviest volume to occur at shift changes at 7am, 3pm, and 7pm. Of particular concern is the safety of hundreds of patients and staff members crossing 15th Street during the morning rush hour between 6:30am and 7:30am.
4. No onsite parking is provided on the new hospital’s site due to site limitations.
5. The site is owned by UT and is part of UT’s Medical District. UT’s Medical District Master Plan does not include any parking facilities to serve SMCUT.
6. SMCUT operates 24 hours a day, 7 days a week, 365 days a year and serves as Central Texas’ only Level 1 Trauma and Safety Net Hospital. Many patients and visitors suffer physical disabilities including mobility impairment. The on-grade route from the garage elevator across 15th Street, then east uphill to realigned Red River, and then north to the main hospital entrance is not only dangerous and unsafe due to the traffic on 15th Street, it also would subject people with mobility impairments to unacceptable challenges.

Although access to the hospital is proposed to occur primarily through the use of the aerial walkway, the SMCUT project will contribute to a vibrant, diverse, and pedestrian-friendly urban district that is in concert with The University of Texas Medical District Urban Design Guidelines and The Ten Enduring Principles for Building on the UT Austin Campus. SMCUT will nurture a vibrant, diverse, and pedestrian-friendly urban district, including humanely-scaled architectural expression and a variety of pedestrian amenities along Red River Street. Hospital service functions, such as the loading dock and the Emergency Department ambulance entrance, will be effectively screened from public view.

Envisioned as an integral part of the highly active pedestrian zone of the UT Medical District, the SMCUT's location adjacent to 15th Street also ensures easy access to existing Capital Metro bus service and is a short walk from the proposed alignment of the Capital MetroRail expansion.

As part of the larger University of Texas Medical District, SMCUT will integrate closely, both physically and visually, with the other District Buildings. The main public entrance to the Hospital is on Red River Street, which is envisioned as a highly active pedestrian zone linking the Teaching Hospital to other buildings in the Medical District and contributing to the animation of public spaces in the District. SMCUT's public entry plaza will also visually connect across Red River Street to the Dell Medical School Administration Building entrance plaza, creating a gateway into the Medical District. SMCUT will present a strong "build-to" edge along a tree-lined 15th Street, aligning with the Dell Medical School Administration Building across Red River and contributing to the human-scaled urban quality of the UT Medical District.

For these reasons, we request Design Commission's support for this Application.



SETON MEDICAL CENTER AT THE UNIVERSITY OF TEXAS

SITE VICINITY PLAN

AUGUST 12, 2014

16977.000

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SETON MEDICAL CENTER AT THE UNIVERSITY OF TEXAS

VIEW 'A' FROM DELL MEDICAL SCHOOL PLAZA

AUGUST 12, 2014

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SETON MEDICAL CENTER AT THE UNIVERSITY OF TEXAS

VIEW 'B' FROM 15TH STREET LOOKING WEST

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SETON MEDICAL CENTER AT THE UNIVERSITY OF TEXAS

VIEW 'C' FROM SOUTHWEST CORNER OF 15TH STREET AND RED RIVER STREET

AUGUST 12, 2014

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Infrastructure Design Guidelines
 City Contact Assignment - Alphabetical
 17-Mar-14

Commissioner

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